

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

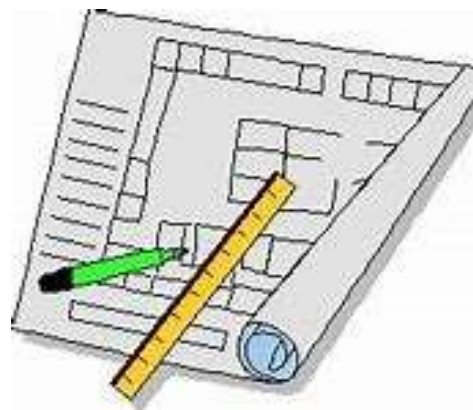
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

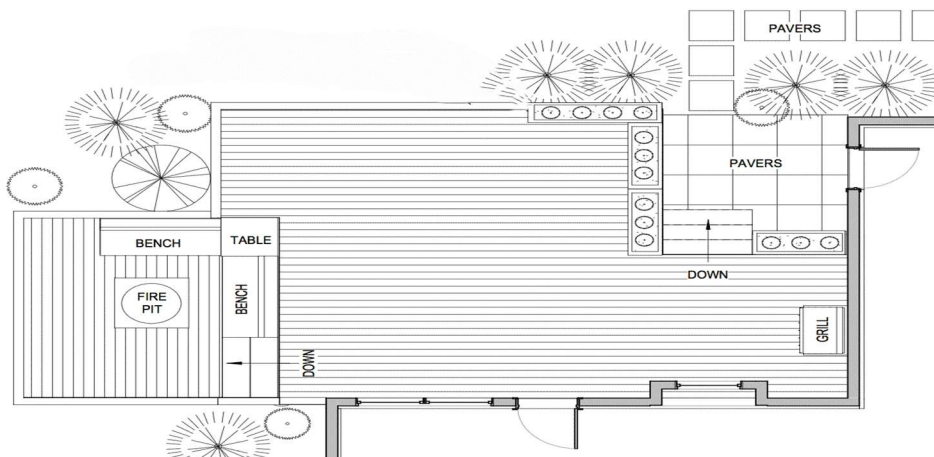


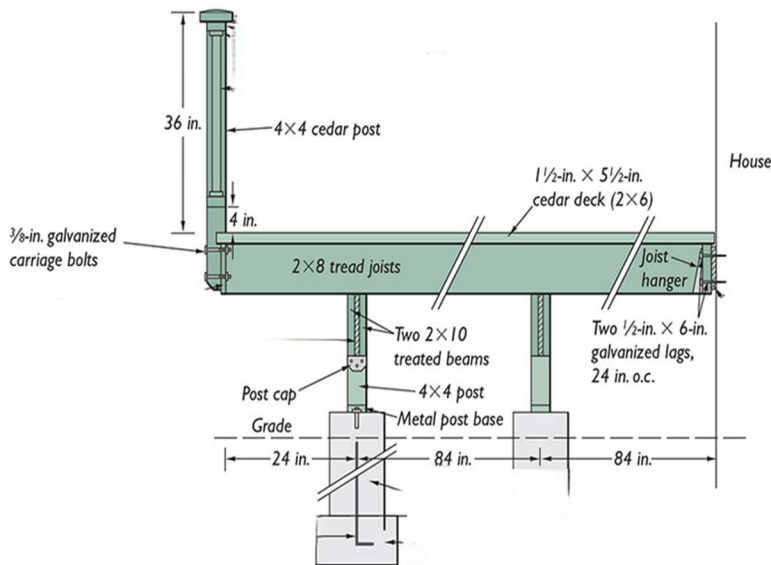
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



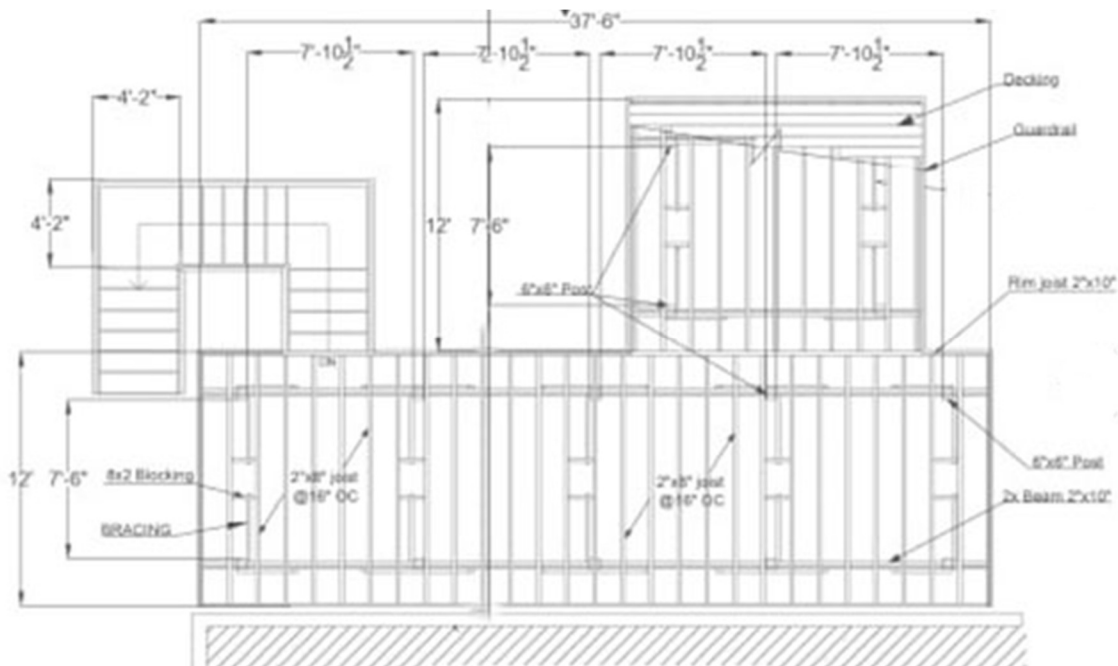


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

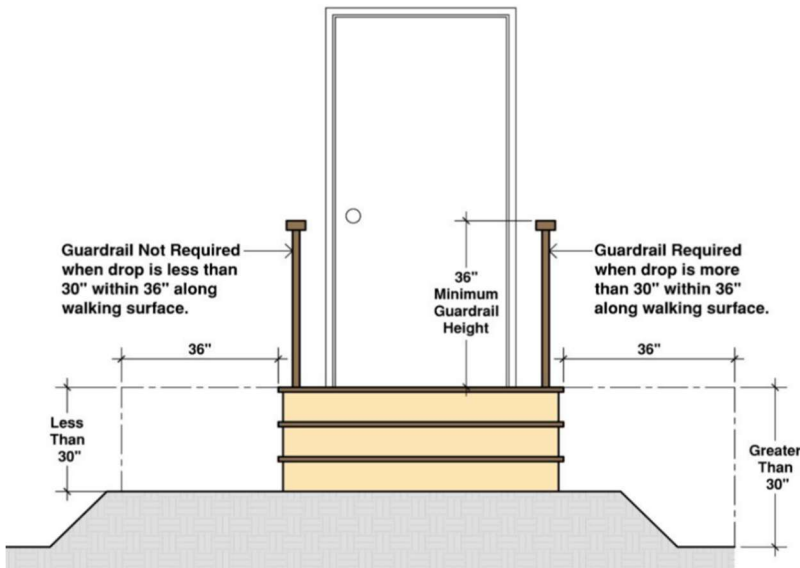
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

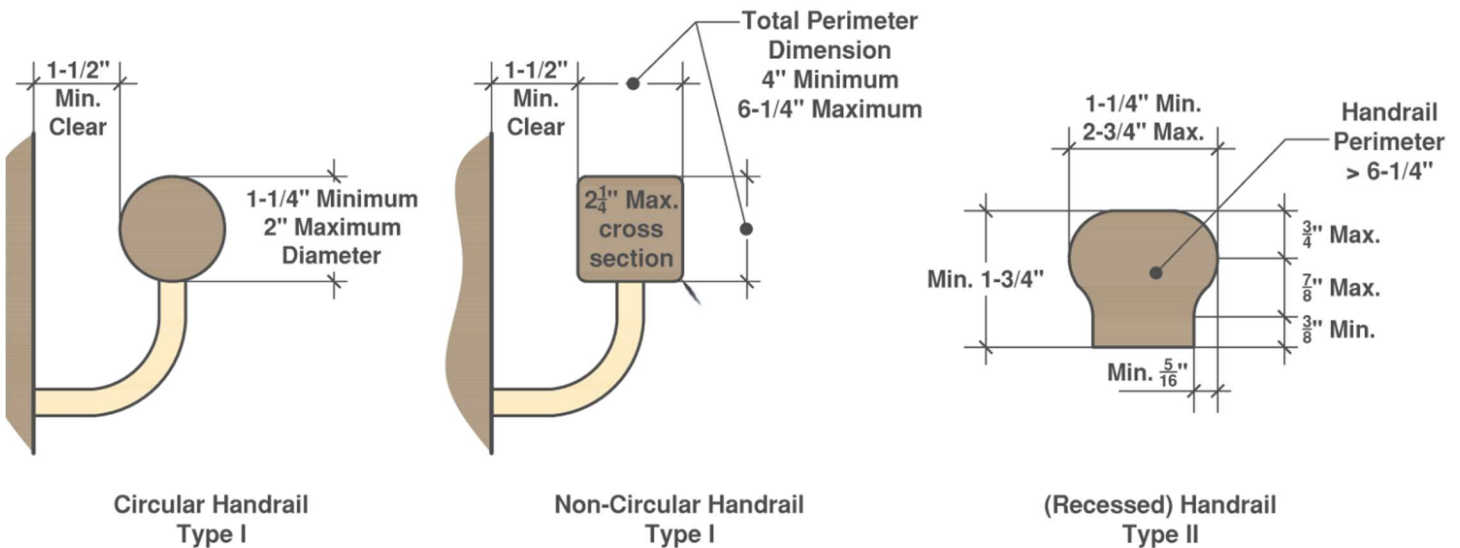


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Used/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gained, Rental \_\_\_\_\_

Lost, Scale \_\_\_\_\_

Lost, Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

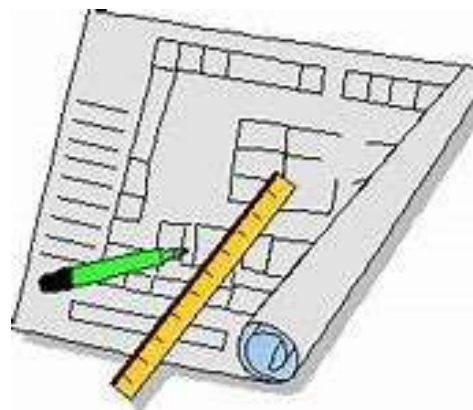
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

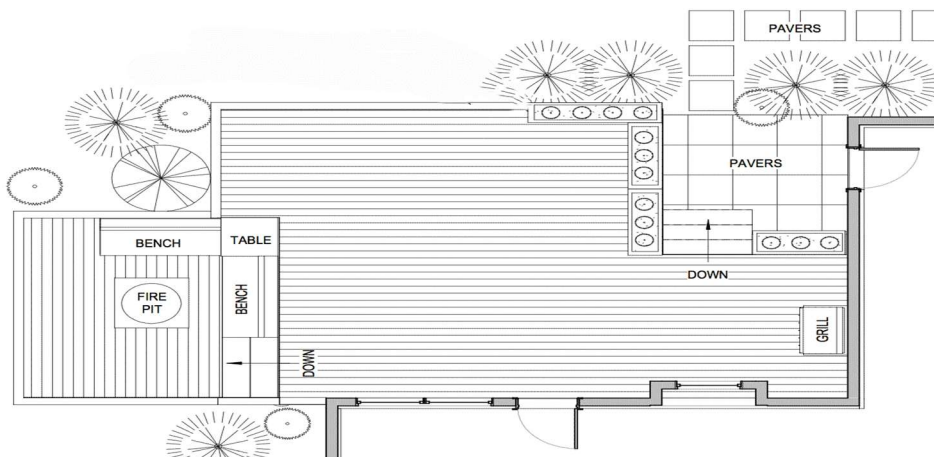


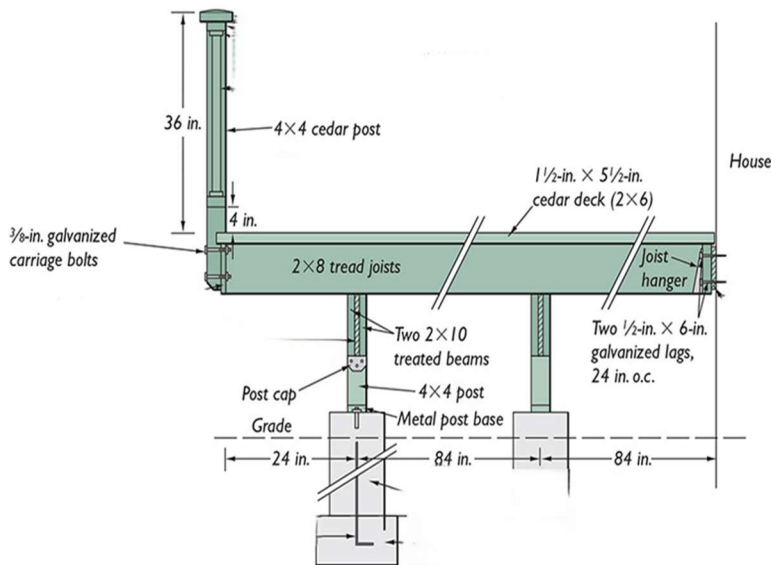
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



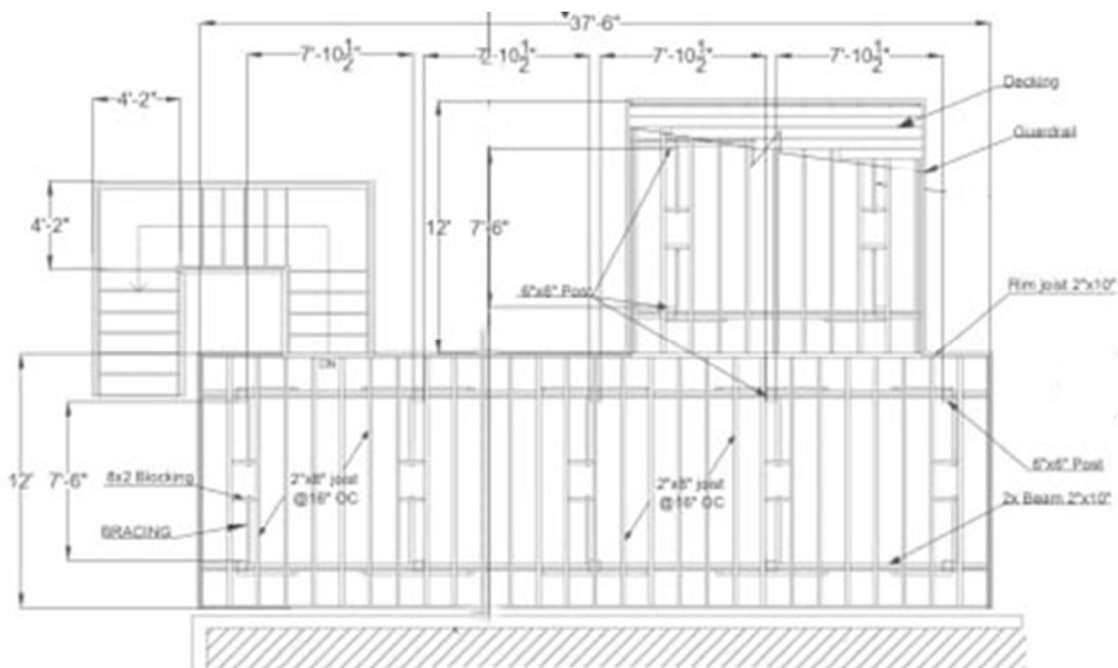


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

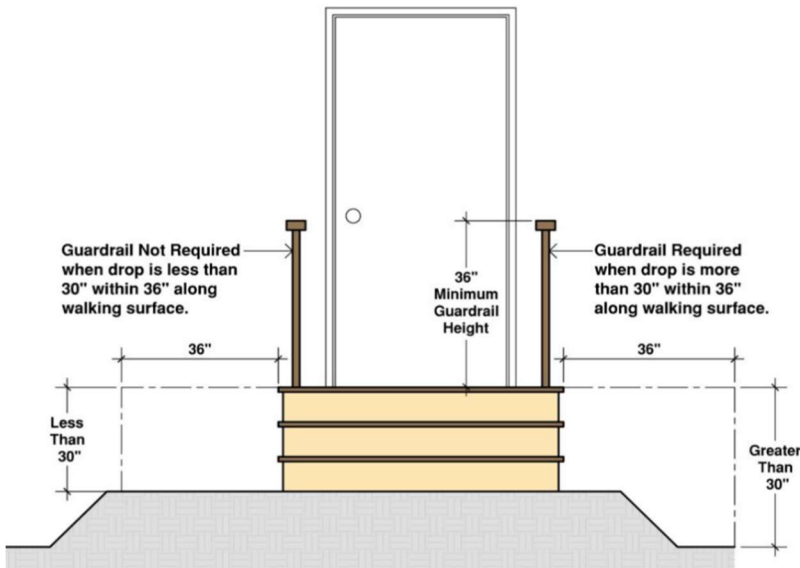
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

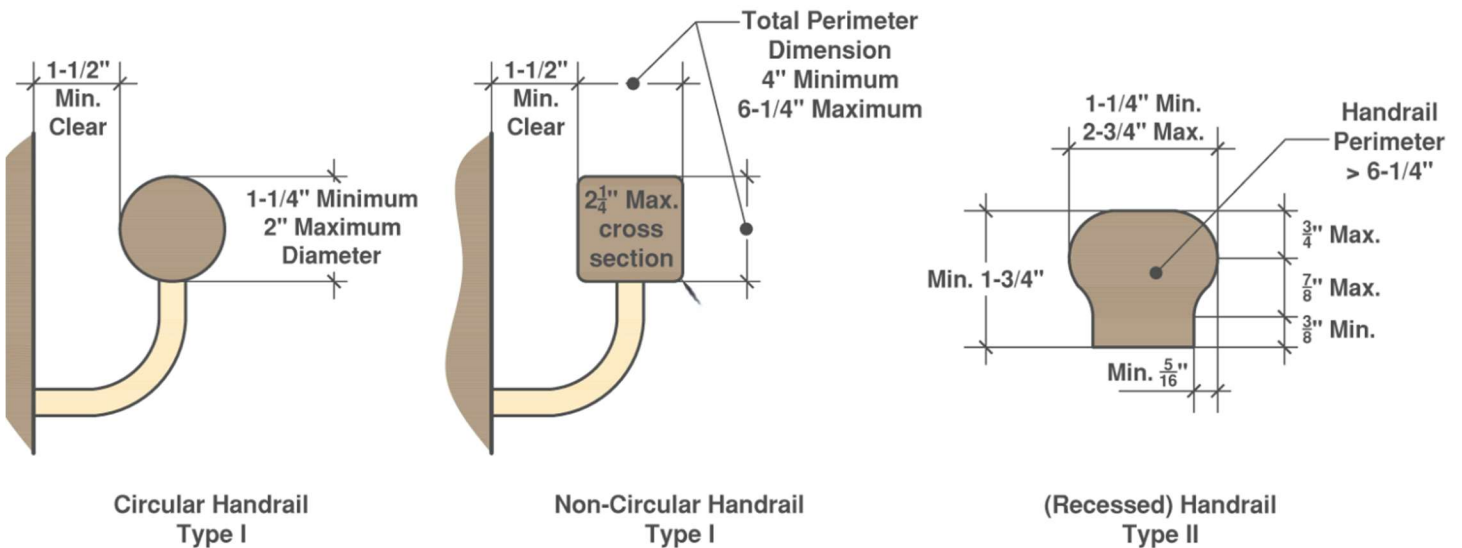


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

Partial Releases

Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Uses/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gain: Rental \_\_\_\_\_

Loss: Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

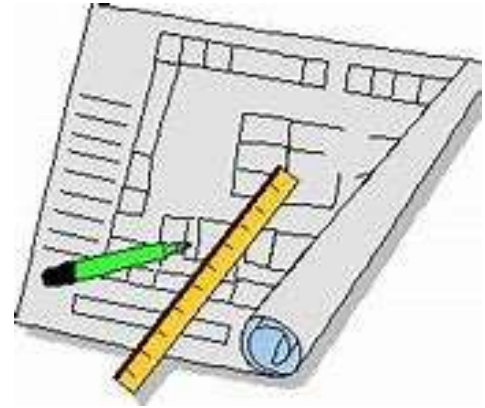
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

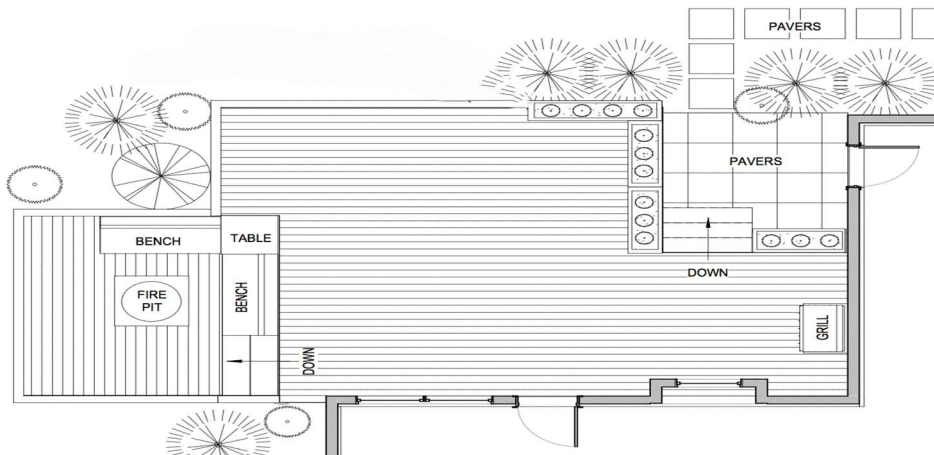


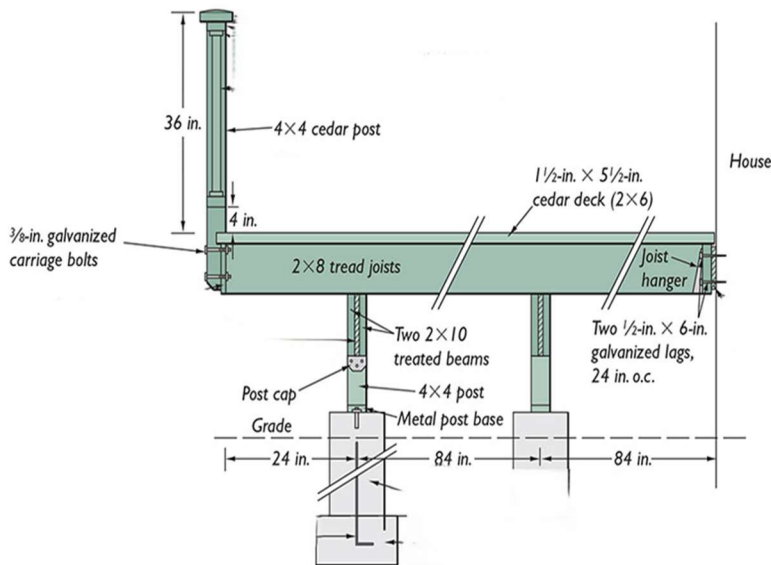
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



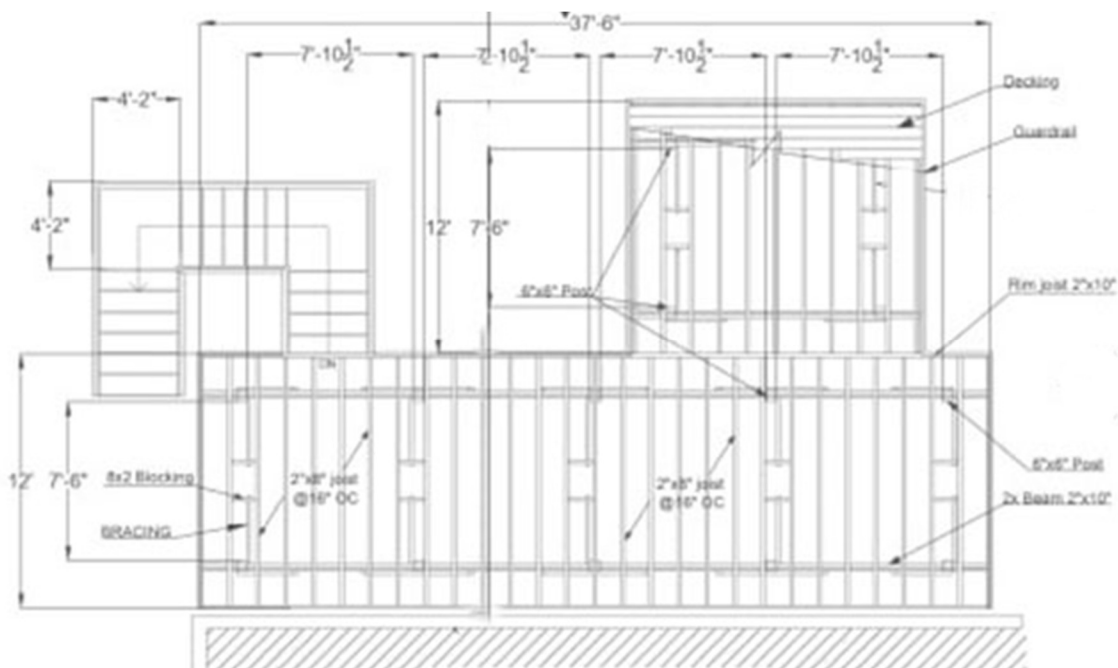


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

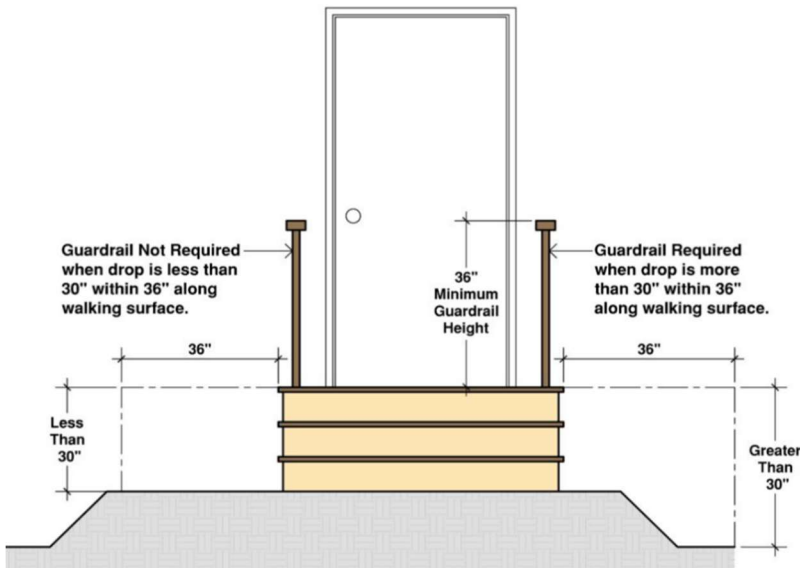
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

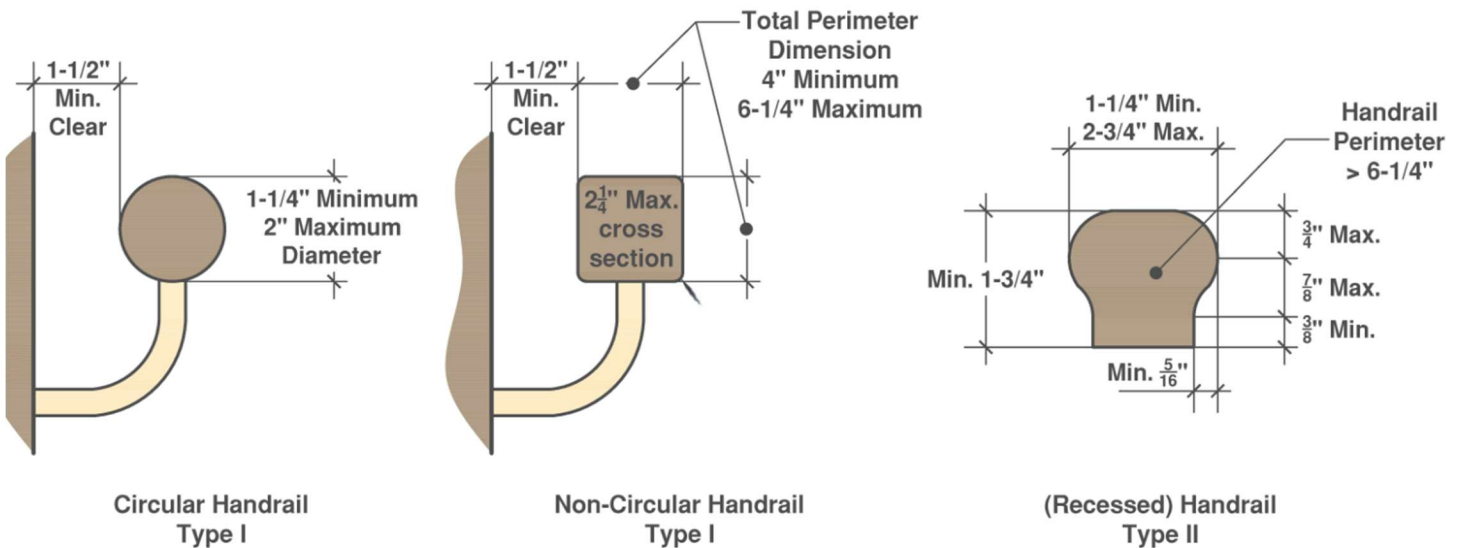


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Used/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gain: Rental \_\_\_\_\_

Loss: Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

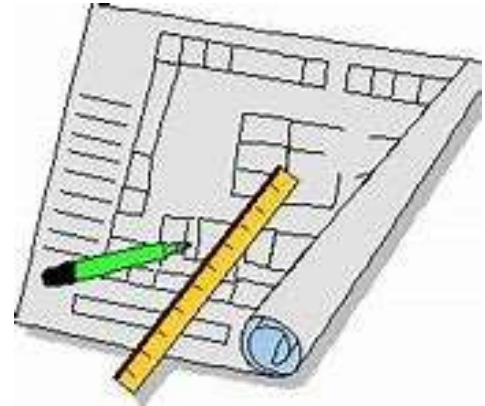
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

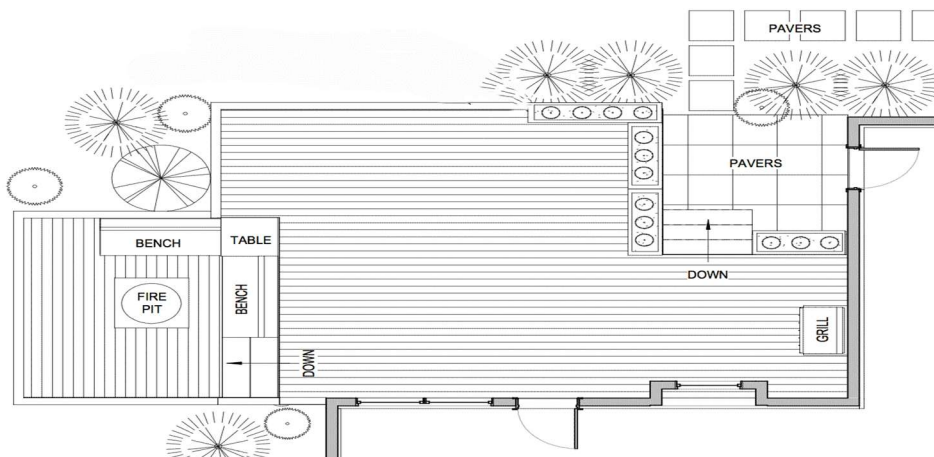


**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

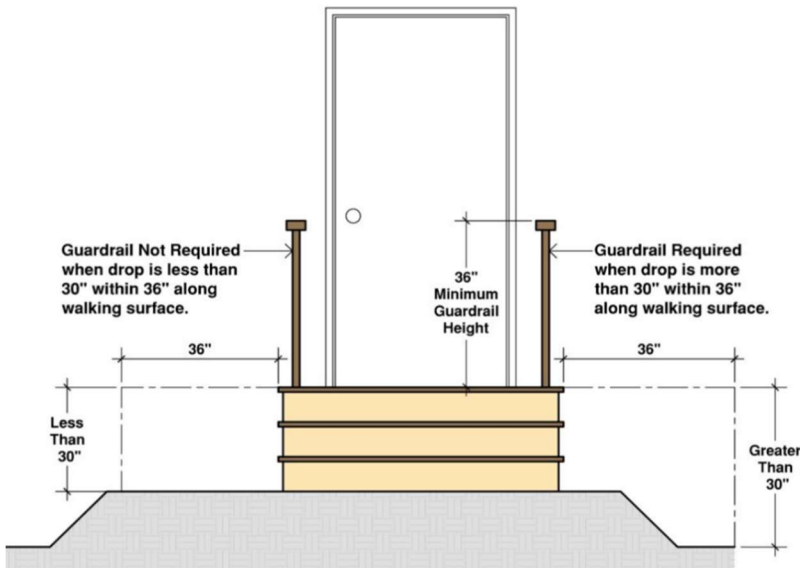
A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



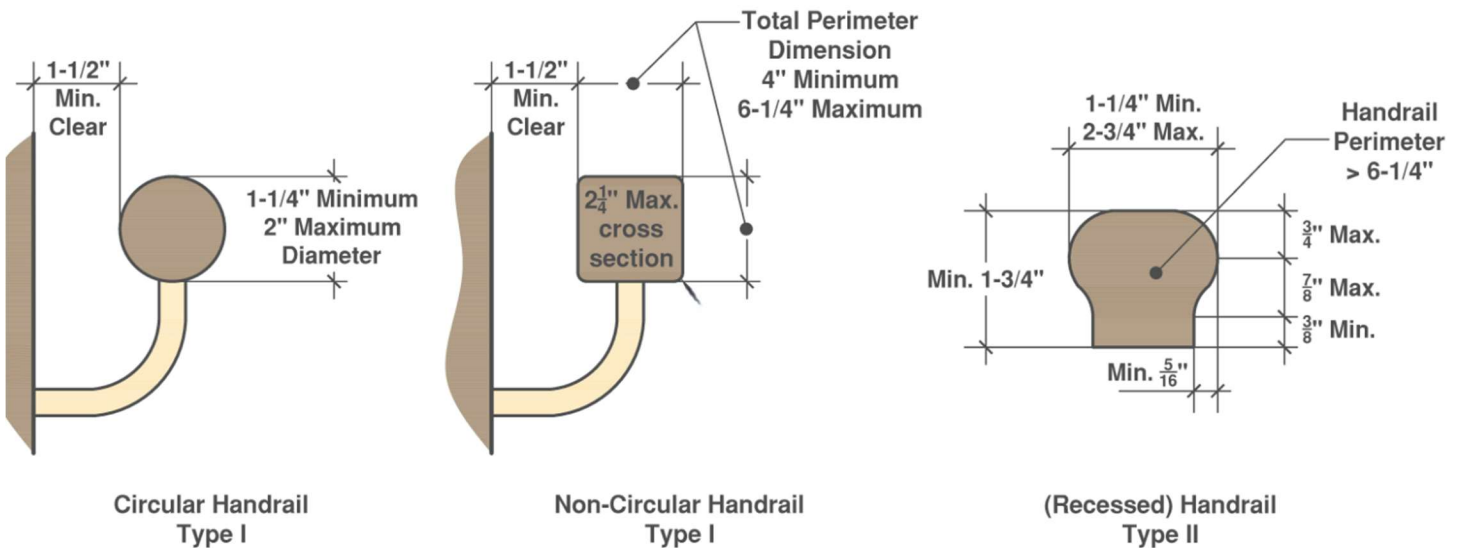


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. - Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

DO YOU WANT:

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Used/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gain: Rental \_\_\_\_\_

Loss: Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

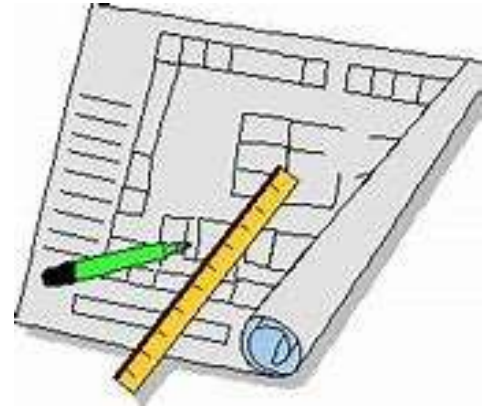
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

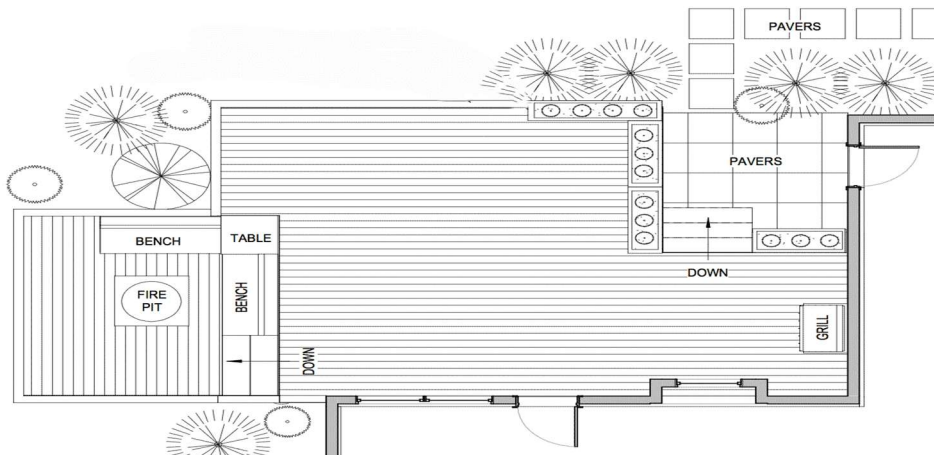


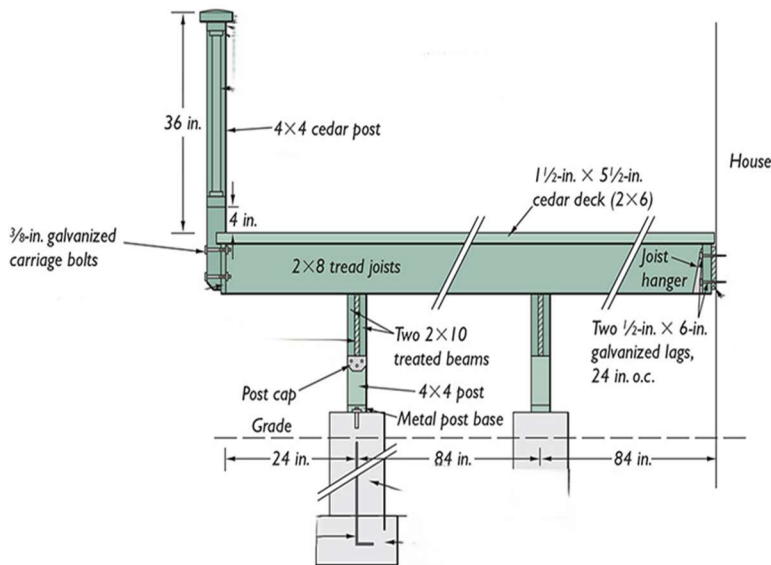
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



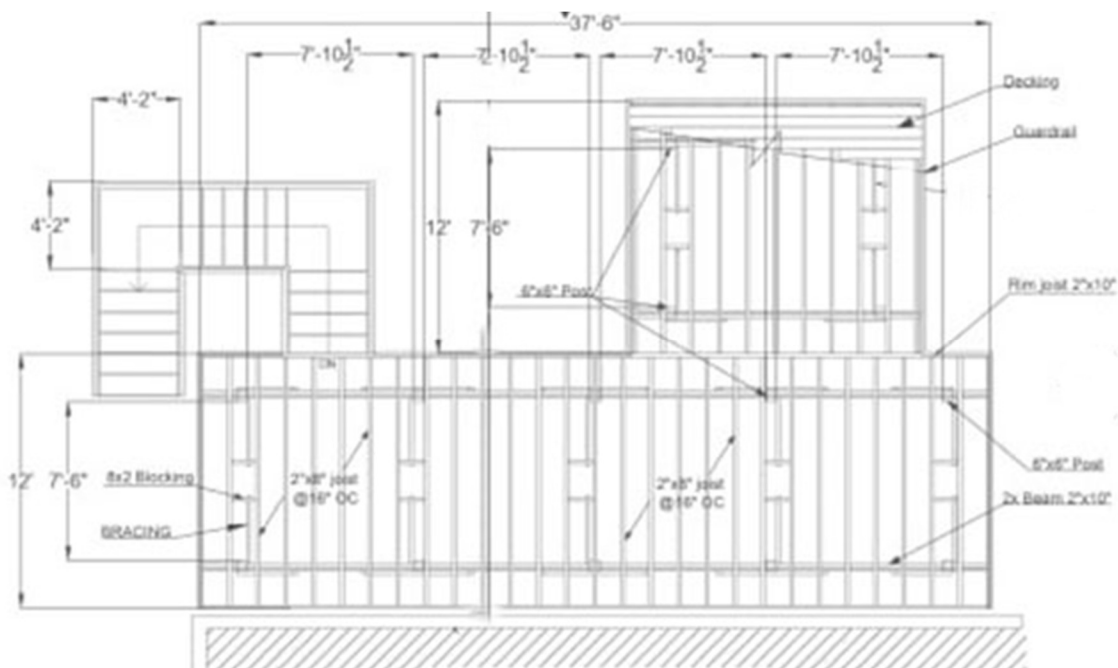


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

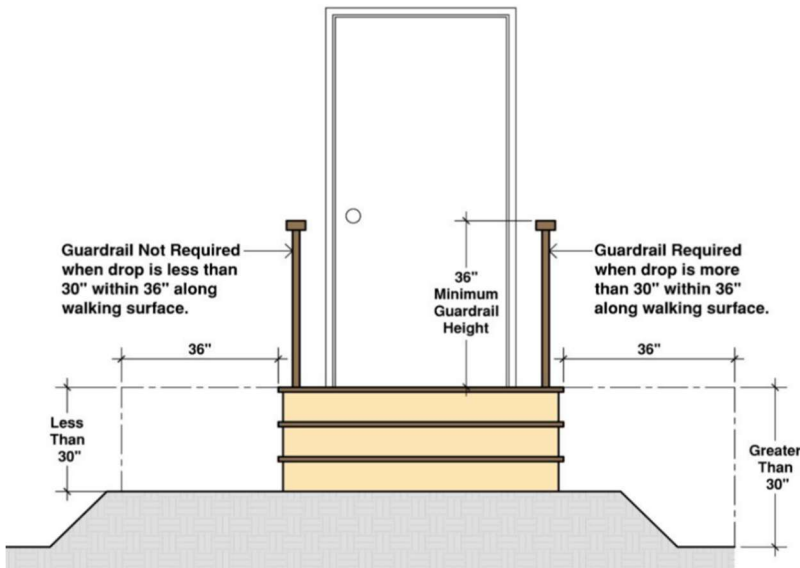
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

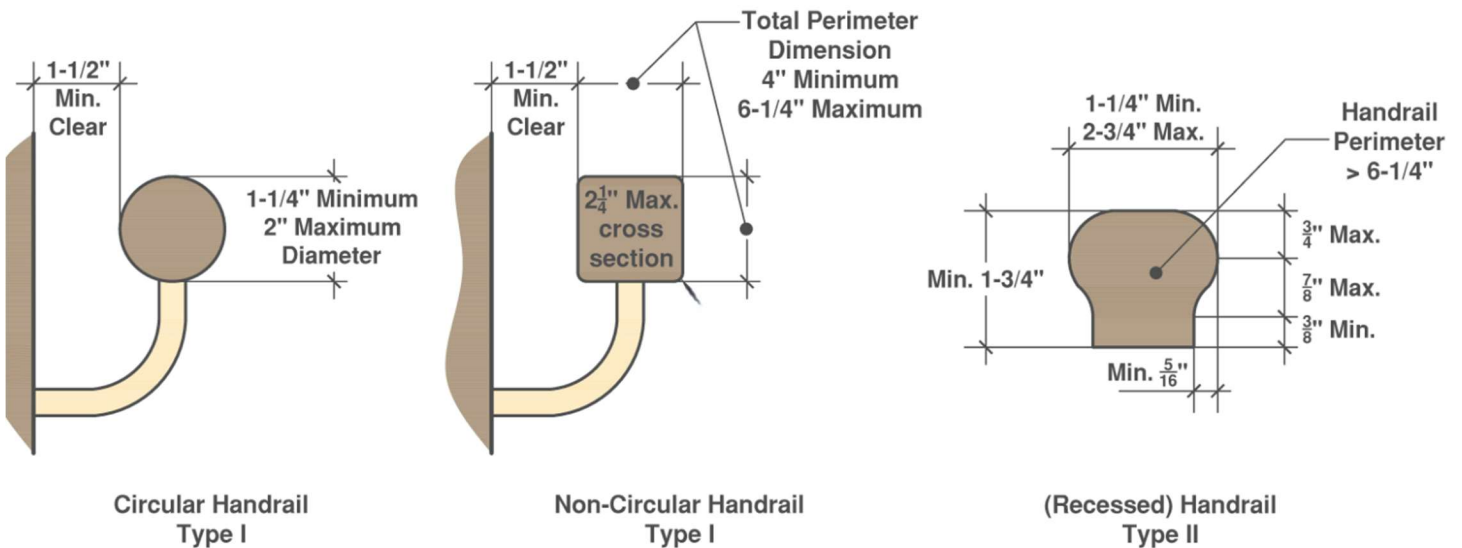


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

Tel: \_\_\_\_\_ e-mail: \_\_\_\_\_

Address: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_ Tel: \_\_\_\_\_

Address: \_\_\_\_\_ e-mail: \_\_\_\_\_

License No. OR, if new home, Builder Reg. No. \_\_\_\_\_ Exp. Date \_\_\_\_\_

Home Improvement Contractor Registration No. or Exemption Reason \_\_\_\_\_

Federal Emp. ID No. \_\_\_\_\_ FAX: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_ Contact \_\_\_\_\_

Address: \_\_\_\_\_ e-mail: \_\_\_\_\_

Tel: \_\_\_\_\_ FAX: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun \_\_\_\_\_

Tel: \_\_\_\_\_ FAX: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. SUBCODES**

Subcode	FOR OFFICE USE ONLY (optional)							
	Est. Cost	Plans Rec'd/By	Date Rec'd	Revision Date	Approval Date	Re-viewment	Re-submission Date	Re-approval
<input type="checkbox"/> Building								
<input type="checkbox"/> Electrical								
<input type="checkbox"/> Plumbing								
<input type="checkbox"/> Fire Protection								
<input type="checkbox"/> Elevator								

TOTAL COST \$ \_\_\_\_\_

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1. <input type="checkbox"/> Partial Releases	4. <input type="checkbox"/> Refrigeration Systems	8. <input type="checkbox"/> Smoke Control Systems in Open Wells	12. <input type="checkbox"/> Fire Alarm
2. <input type="checkbox"/> Prototype Processing	5. <input type="checkbox"/> Cross-Connections/Backflow Preventers	9. <input type="checkbox"/> Underground Storage Tanks	13. <input type="checkbox"/> Fire Alarm
3. <input type="checkbox"/> Pressure Vessels	6. <input type="checkbox"/> Hazardous Used/Pieces of Assembly	10. <input type="checkbox"/> Swimming Pools, Spas and Hot Tubs	Corrm System
	7. <input type="checkbox"/> Sprinklers/Standpipes	11. <input type="checkbox"/> LPG Gas Tanks	

**V. FEE SUMMARY** (for office use only)

	Update	Update
1. Building		
2. Electrical		
3. Plumbing		
4. Fire Protection		
5. Elevator Devices		
6. Subtotal		
7. Less 20% for State Plan Review		
8. Subtotal		
9. State Permit Surcharge Fee		
10. Subtotal		
11. Cert. of Occupancy		
12. Other		
13. TOTAL		

**VI. BUILDING SITE CHARACTERISTICS** (office use only)

1. Number of Stories \_\_\_\_\_ ft.

2. Height of Structure \_\_\_\_\_ ft.

3. Area - Largest Floor \_\_\_\_\_ sq. ft.

4. New Building Area \_\_\_\_\_ sq. ft.

5. Volume of New Structure \_\_\_\_\_ cu. ft.

6. Max. Live Load \_\_\_\_\_

7. Max. Occupancy Load \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone \_\_\_\_\_

11. Base Flood Elevation \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gain: Rental \_\_\_\_\_

Loss: Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

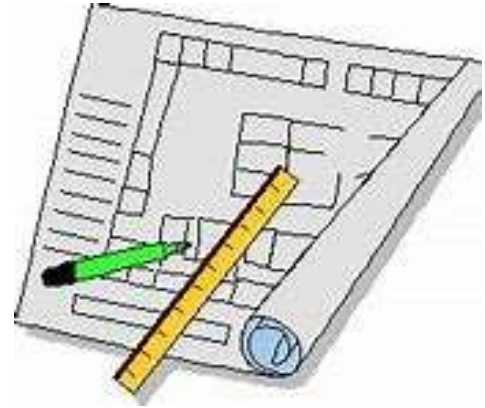
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

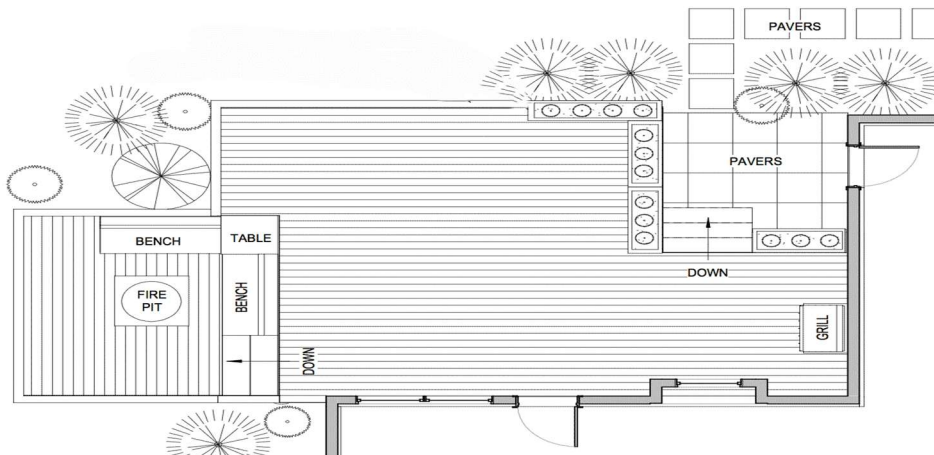


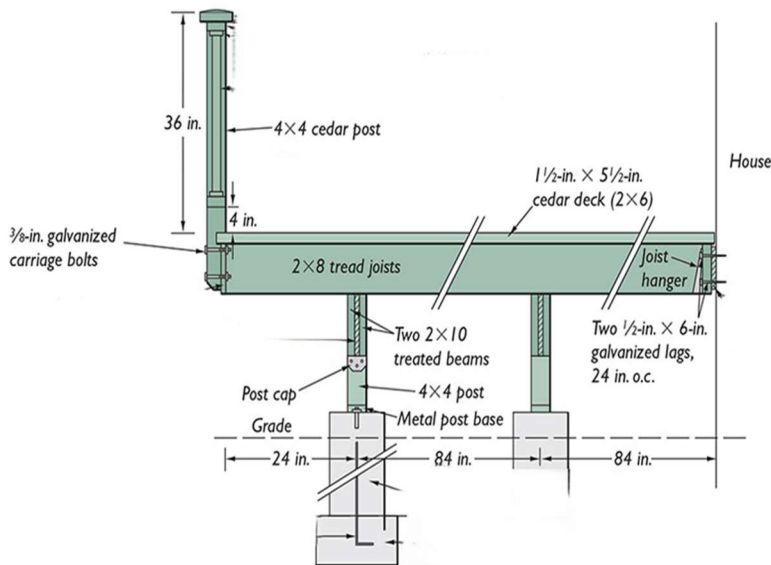
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



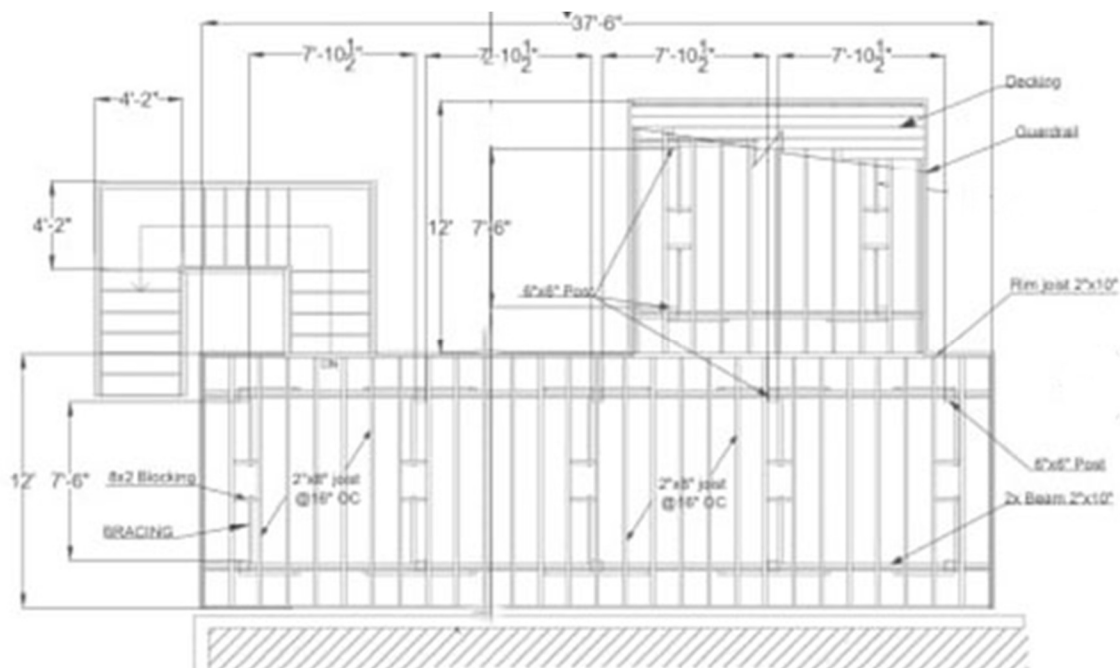


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

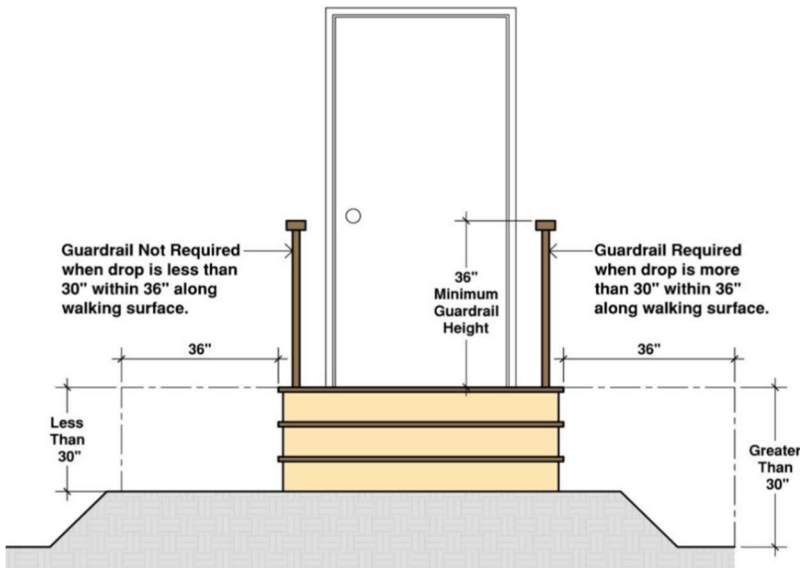
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

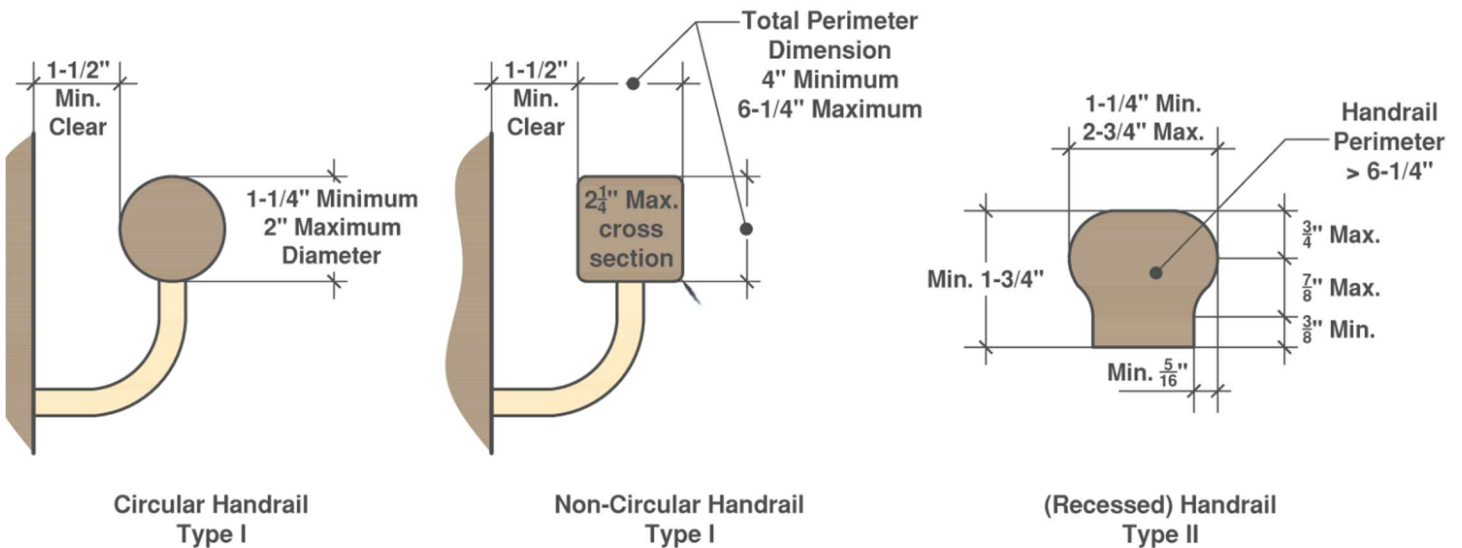


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans


Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

BLOCK \_\_\_\_\_ LOT \_\_\_\_\_ QUALIFICATION CODE \_\_\_\_\_ ADDRESS (SITE) \_\_\_\_\_ PERMIT NO. \_\_\_\_\_


**CONSTRUCTION PERMIT APPLICATION**

Applicant Completes: Sections I, II, III (optional), IV, VI, and VII

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_  
Tel: \_\_\_\_\_ e-mail: \_\_\_\_\_  
Address: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_  
Home Improvement Contractor Registration No. or Exemption Reason: \_\_\_\_\_ Exp. Date: \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_ Tel: \_\_\_\_\_  
Address: \_\_\_\_\_ e-mail: \_\_\_\_\_  
License No. OR, if new home, Builder Reg. No.: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_ Contact: \_\_\_\_\_  
Tel: \_\_\_\_\_ e-mail: \_\_\_\_\_  
FAX: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun  
Tel: \_\_\_\_\_ FAX: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition  
 Repair  Alteration  Renovation  Reconstruction  
 Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**IIb. SUBCODES** (check all that apply)

Subcode	Est. Cost	FOR OFFICE USE ONLY (optional)					
		Permit Rec'd/By	Date Rec'd	Revision Date	Approval Date	Re-viewment	Re-submission Date
<input type="checkbox"/> Building							
<input type="checkbox"/> Electrical							
<input type="checkbox"/> Plumbing							
<input type="checkbox"/> Fire Protection							
<input type="checkbox"/> Elevator							

TOTAL COST \$ \_\_\_\_\_

**III. PLAN REVIEW** (optional)

**DO YOU WANT:**

1.  Partial Releases  
2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks  
2.  High Pressure Boilers  
3.  Pressure Vessels  
4.  Refrigeration Systems  
5.  Cross-Connections/Backflow Preventers  
6.  Hazardous Uses/Pieces of Assembly  
7.  Sprinklers/Standpipes  
8.  Smoke Control Systems in Open Wells  
9.  Underground Storage Tanks  
10.  Swimming Pools, Spas and Hot Tubs  
11.  LPG Gas Tanks  
12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY** (for office use only)

	Update	Update
1. Building		
2. Electrical		
3. Plumbing		
4. Fire Protection		
5. Elevator Devices		
6. Subtotal		
7. Less 20% for State Plan Review		
8. Subtotal		
9. State Permit Surcharge Fee		
10. Subtotal		
11. Cert. of Occupancy		
12. Other		
13. TOTAL		

**VI. BUILDING SITE CHARACTERISTICS** (office use only)

1. Number of Stories \_\_\_\_\_ ft.  
2. Height of Structure \_\_\_\_\_ ft.  
3. Area - Largest Floor \_\_\_\_\_ sq. ft.  
4. New Building Area \_\_\_\_\_ sq. ft.  
5. Volume of New Structure \_\_\_\_\_ cu. ft.  
6. Max. Live Load \_\_\_\_\_  
7. Max. Occupancy Load \_\_\_\_\_  
8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_  
9. Total Land Area Disturbed \_\_\_\_\_ sq. ft.  
10. Flood Hazard Zone \_\_\_\_\_  
11. Base Flood Elevation \_\_\_\_\_ ft.  
12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_  
2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_  
4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_  
Gained, Rental \_\_\_\_\_  
Lost, Scale \_\_\_\_\_  
Lost, Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_  
2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_  
3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_  
D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

\*CCC FORM 1 (REV. 8/03)

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

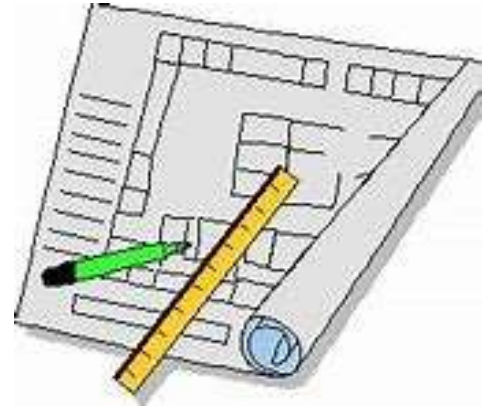
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

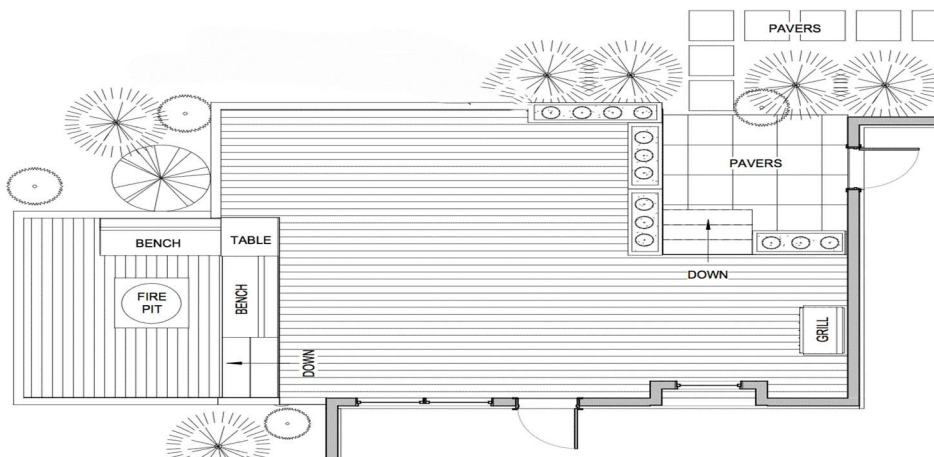


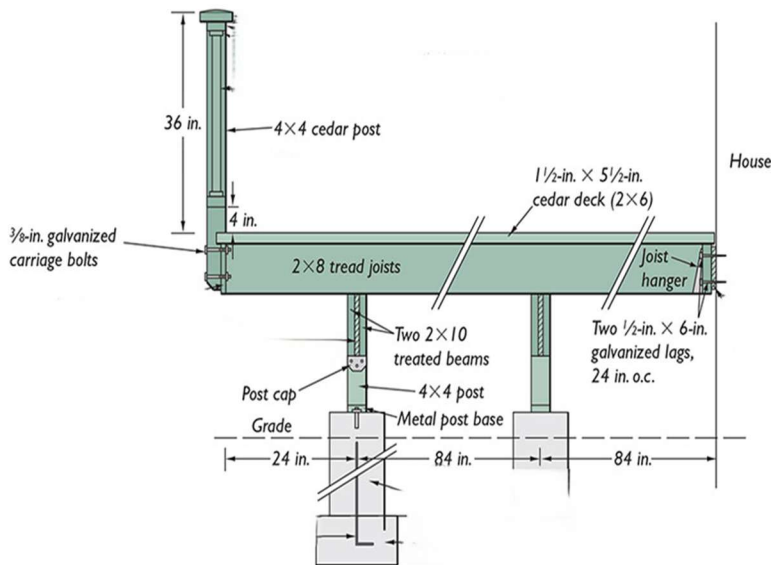
**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



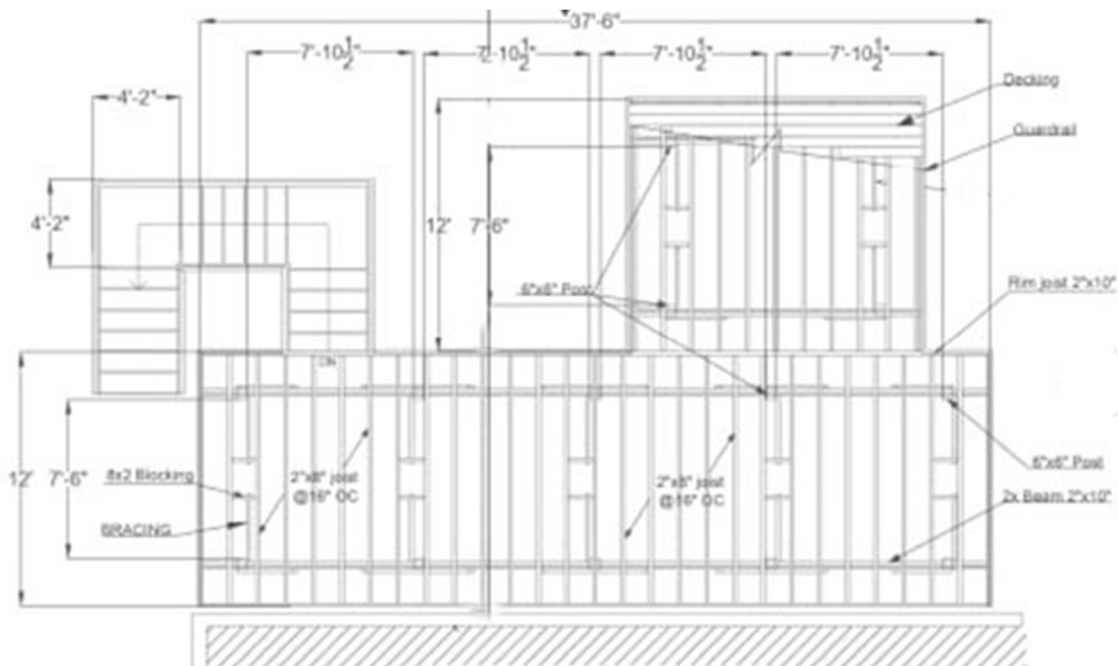


### [Cross] Section plan

A section plan shows a side view of wall or building element. This drawing shows important details pertaining to the construction of the wall including materials, footings, joists, ledger, railing, etc. Although this pertains more to decks, section details can be used to show design elements in raised area hardscaping, porch and stairs, grill islands, and other miscellaneous structures.

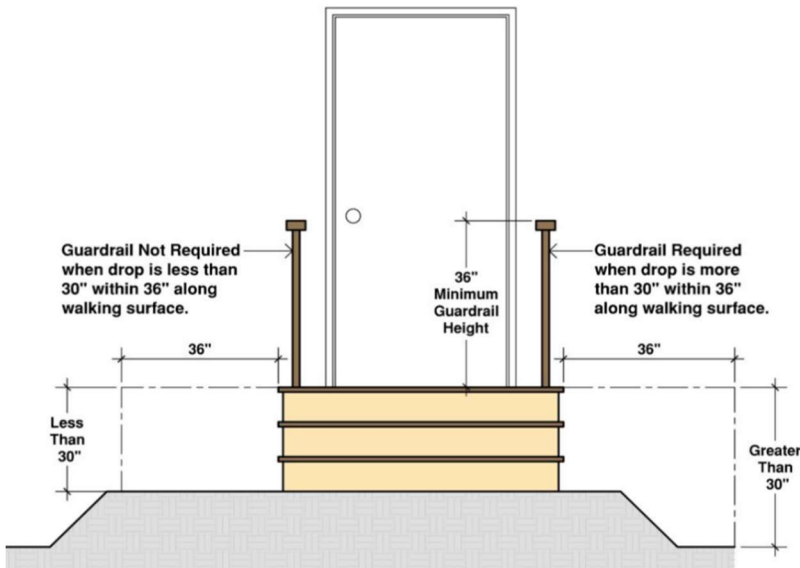
### Framing Plans

The framing plan should contain every detail on how you will construct your deck or other structure. It should be fully dimensioned, showing spacing on your footings, girders, joists, etc. It shall also show your ledger attachment, hardware for connections, type and size of all material (posts, girders, beams, joists, decking, etc.). You can either include the details of your footings, including type, depth, size, and reinforcement on this drawing or on a section detail. The drawing must also be to scale. Section 507 of the 2021 NJ edition of the IRC has valuable information as well.

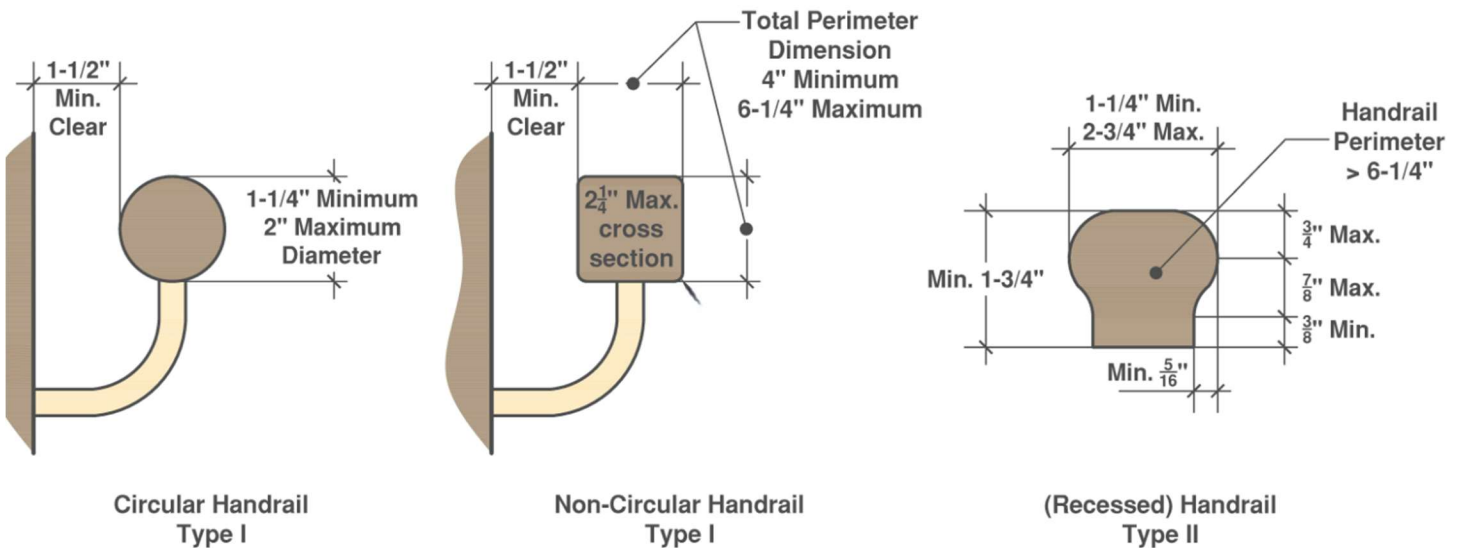


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Uses/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of dwelling units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gained, Rental \_\_\_\_\_

Lost, Scale \_\_\_\_\_

Lost, Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

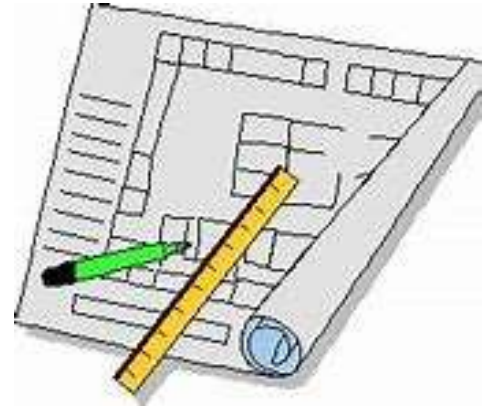
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

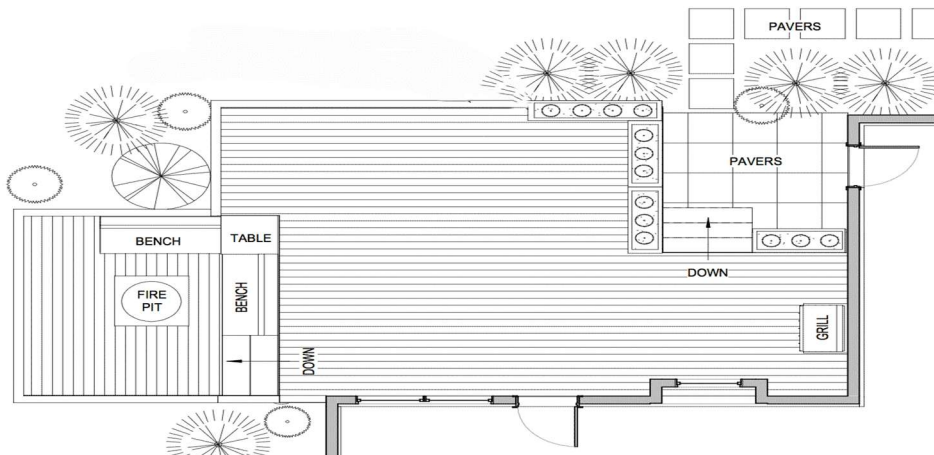


**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

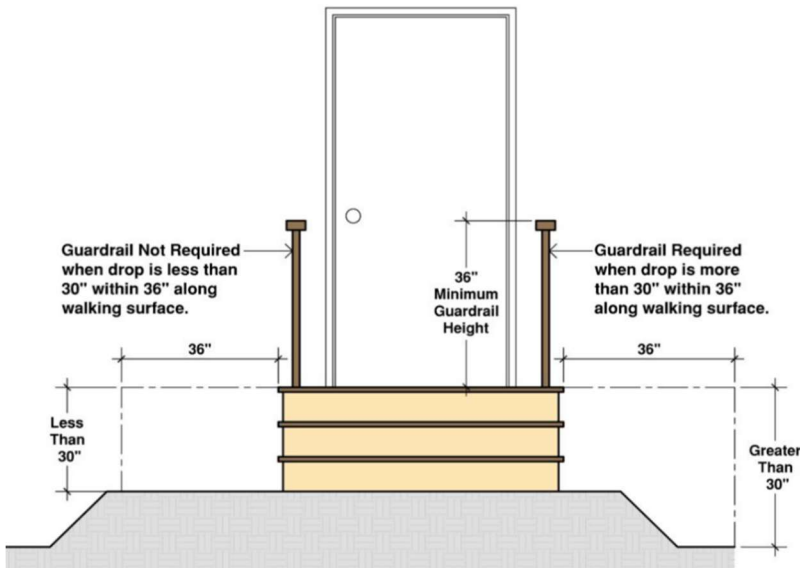
A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



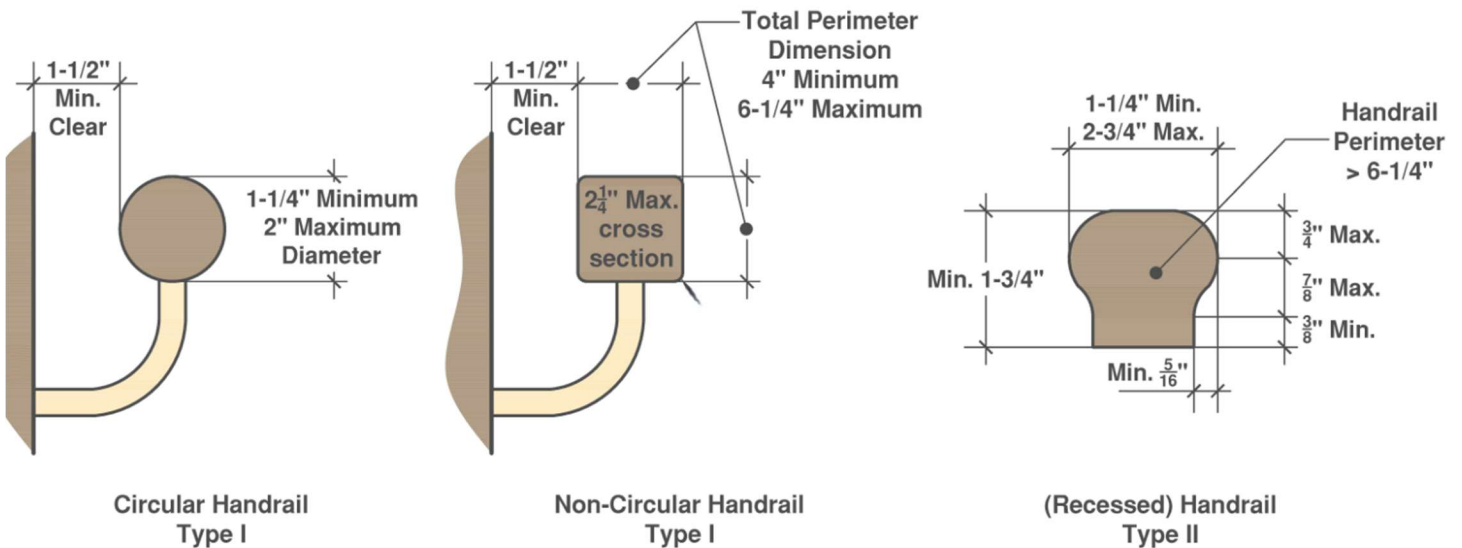


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

Partial Releases

Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Uses/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gain: Rental \_\_\_\_\_

Loss: Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

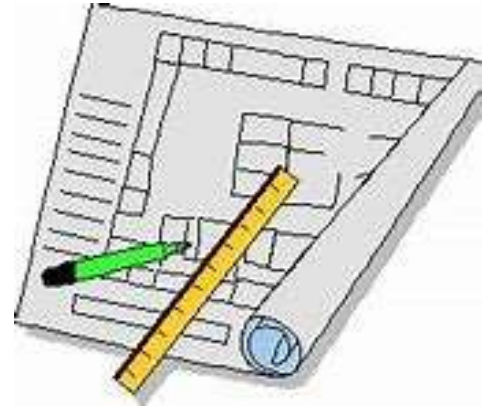
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

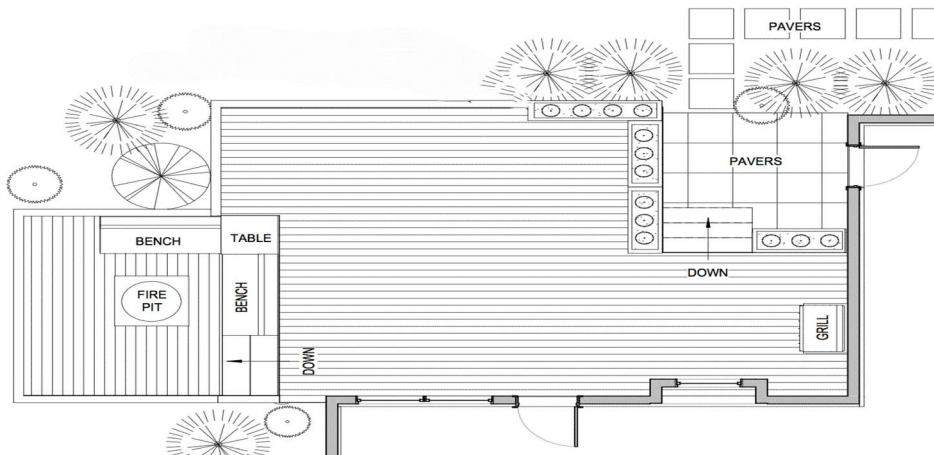


**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

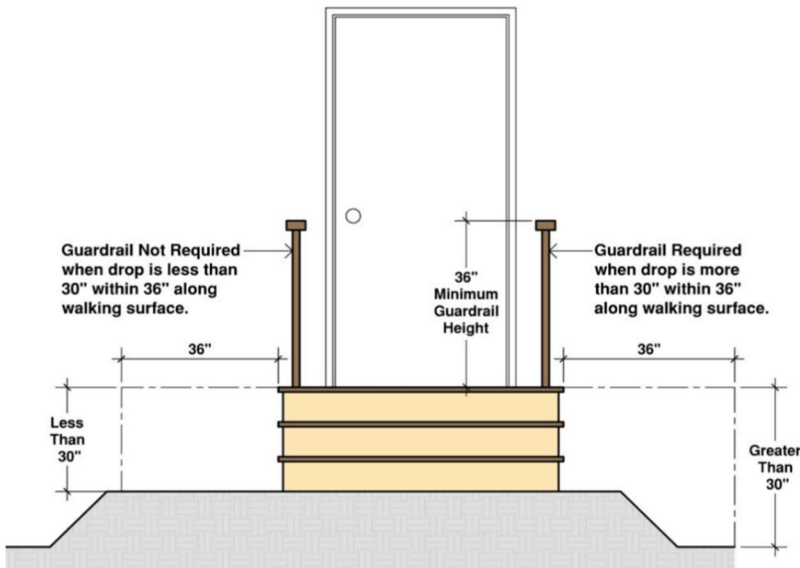
A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



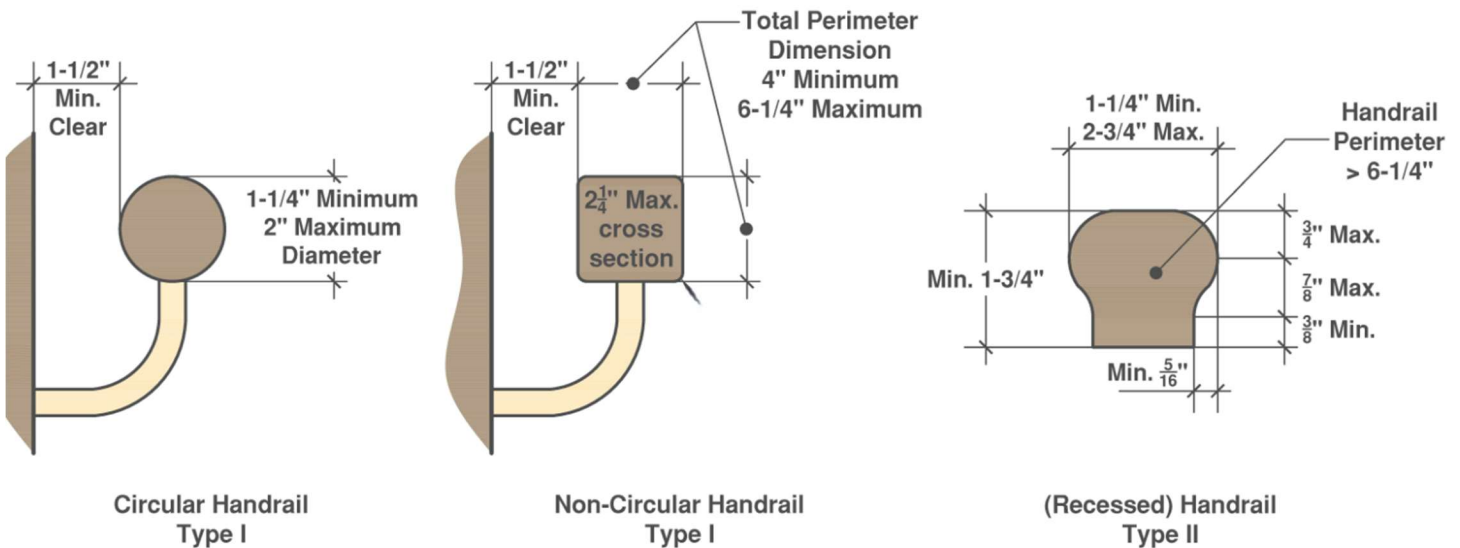


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**III. PLAN REVIEW (optional)**

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Uses/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm Response/Corrm System

**V. FEE SUMMARY (for office use only)**

1. Building	\$	Update	Update
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS (office use only)**

1. Number of Stories: \_\_\_\_\_ ft.

2. Height of Structure: \_\_\_\_\_ ft.

3. Area - Largest Floor: \_\_\_\_\_ sq. ft.

4. New Building Area: \_\_\_\_\_ sq. ft.

5. Volume of New Structure: \_\_\_\_\_ cu. ft.

6. Max. Live Load: \_\_\_\_\_

7. Max. Occupancy Load: \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed: \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone: \_\_\_\_\_

11. Base Flood Elevation: \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of dwelling units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gained, Rental \_\_\_\_\_

Lost, Scale \_\_\_\_\_

Lost, Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**

# Florence Township Construction Office / Inspections

711 Broad Street Florence NJ 08518  
609-499-2130 / 609-499-2525



---

## Permit for Residential Decks & Patios

A homeowner's guide to applying for a deck or patio permit

Constructing a deck, patio, or outdoor living area is a very popular home improvement project. Applying for a permit from the construction department can be confusing and intimidating, especially for those who have never done so before. This information packet has been designed to assist homeowners in preparing their permit application when undertaking a project themselves. Whether you are planning on doing the work yourself or hiring a contractor, this guide will assist you, so that you understand the application process and ensure that all aspects of the project have been accounted for during your planning phase.

This guide will cover items like:

- Permit application
- Zoning
- Rehabilitation code in New Jersey
- Plans
- Completing your permit application
- Plan review, inspections, and closing your permit



### **Permit Application Getting started!**

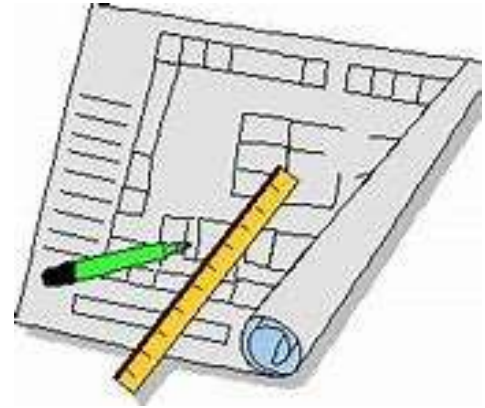
When applying for a construction permit, the first step is to get a permit application jacket along with permit “technicals” and any other forms that may be required. All necessary permits and forms are available at the construction office at the municipal building, the township construction webpage [Construction Office - Township of Florence](#), or The New Jersey Codes and Standards website [New Jersey Department of Community Affairs](#). Most forms have both printable and fillable versions on the Codes and Standards website. Construction work in New Jersey is governed by the New Jersey Uniform Construction Code, or NJAC 5:23, otherwise known as just the ‘UCC’. These are the laws that govern construction in New Jersey and the permitting process throughout the state. Exterior projects such as decks and patios require zoning approval and the submission of plans, both of which are shown a little further down in this handout. If you are installing any appliances or specialized equipment, such as a built-in grill, pizza oven, refrigerator, fireplace, or similar, you will need to submit the specifications sheet from the manufacturer with your permit application. The more explanatory information you provide, the less questions we may have during review of the application. There are some projects that may also require “prior approval” from other agencies. Some of these agencies are township engineer, Burlington County Health Department, and Burlington County Soils Conservation District. Any projects needing a prior approval could keep us from reviewing the application until the prior approval is submitted.

## Zoning

Exterior projects will require zoning so you will need to complete a zoning application. The Zoning Official will require a plot plan or survey of your property with the location of the proposed deck or patio, fully dimensioned with distances from the lot lines and adjacent structures clearly denoted. Although this guide does not provide detail on completing the zoning application in its entirety, it is important to be aware of any zoning requirements since zoning is a prerequisite to our plan reviews. If zoning help is needed please contact the zoning official.

### Building Plans

Plans are in the simplest form, drawn pictures of what your project will look like when completed and how to build it. It needs to be drawn to scale and contain enough information and details so that we can ascertain code compliance. Plans may include plan views, elevations, sections, structural, electric, and plumbing plans. Two separate sets of plans are required to be submitted to the construction department. Additional information on plans can be found in our [Residential Permit Guide](#).

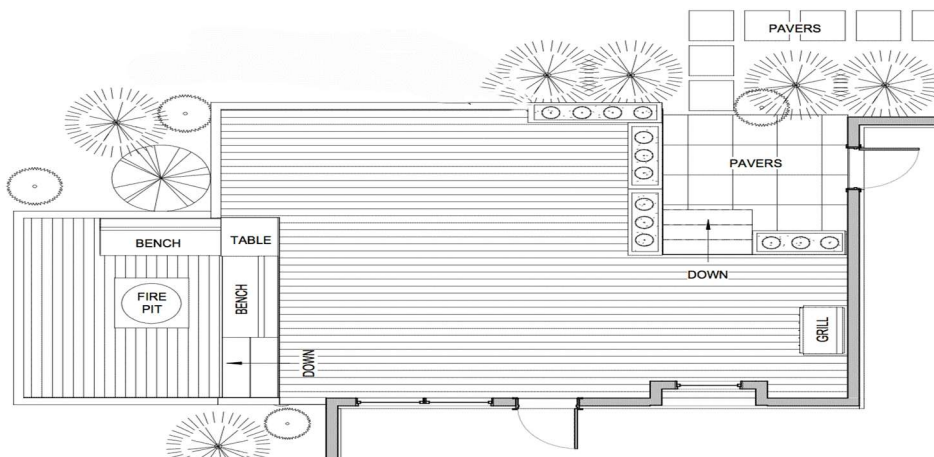


**According to New Jersey law, owners of single family detached homes using the home exclusively as their private residence may prepare their own plans. Home improvement contractors, unless licensed by law, cannot prepare plans.**

**The following examples of plans are NOT to be used for any design purposes. They are strictly illustrative and informative in nature. It is merely meant to show concepts and some of the different types of plans that may be required. Each project is unique and if plans are required, must be prepared for that specific project.**

#### Plan view

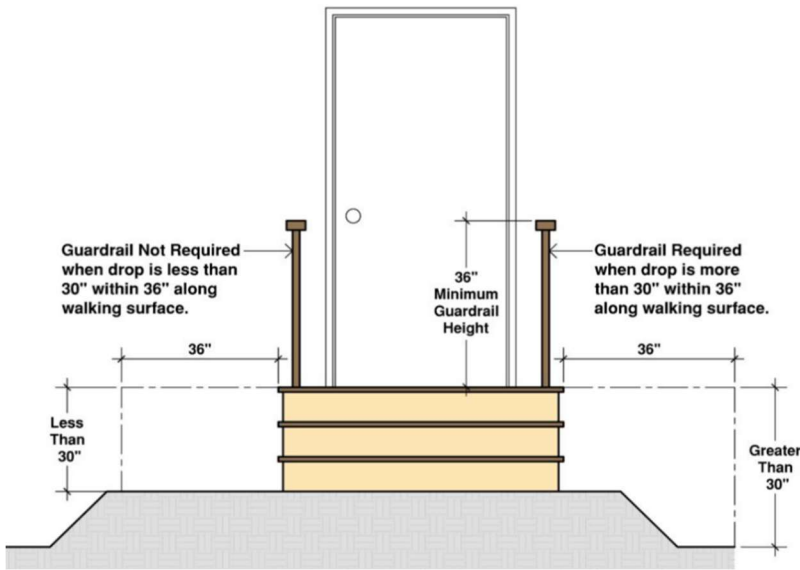
A plan view is an overhead look at the project work area or space. Locations of walls, doors, stairs, railings, and other permanent elements shall be identified on the drawing.



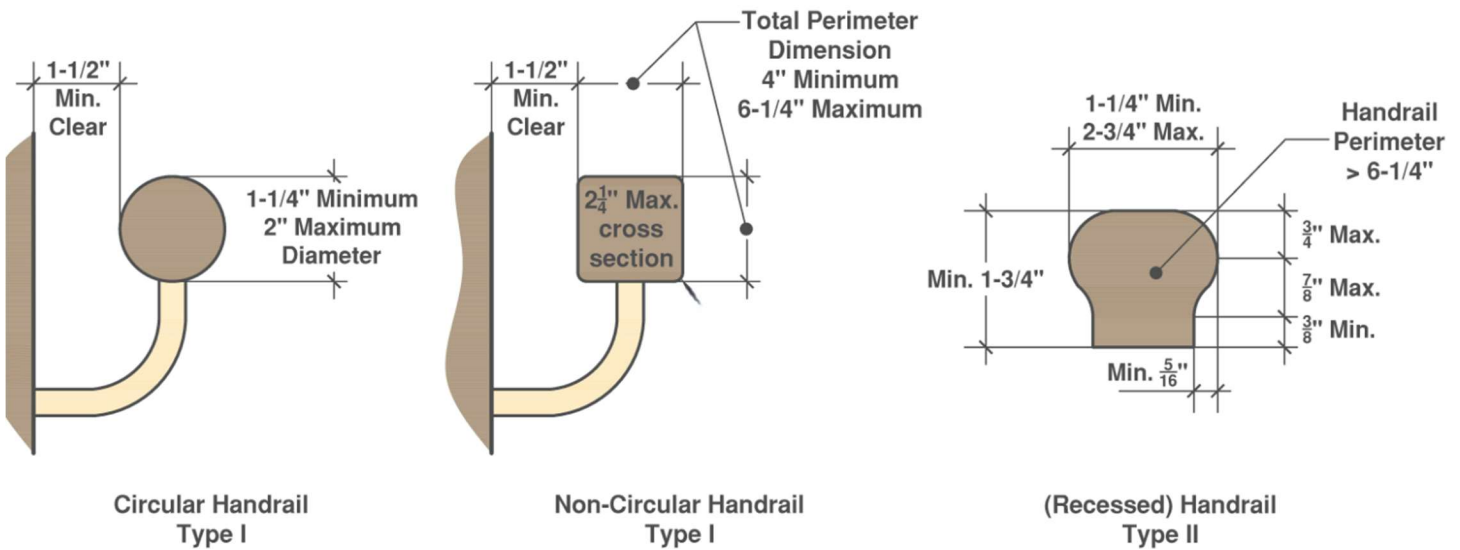


## Guardrails, handrails, and stairs

Guardrails are only required on walking areas that are 30" or greater from grade. See the image below to determine whether your project will require guards. Guardrails shall be at least 36" high, and all openings must not allow the passage of a 4" sphere. Stairs shall have uniform dimensions for treads (minimum 9") and rises (maximum 8-1/4"), and have a level area or landing at the top and bottom of the flight of stairs that is at least 36" in the direction of travel. A graspable handrail must also be provided on at least one side of the stairs if the flight of stairs has four or more risers. Section 311.7 of the 2021 NJ edition of the IRC will provide further guidance and related codes.



### Sample Handrails



### Electric & plumbing plans

Some decks, patios, or exterior areas will have electric or plumbing. Electric plans convey fixture location, switches, outlets, and any other electric based devices. Plumbing plans convey fixture location, drain piping, supply piping, and gas piping. In addition to an owner or a NJ Design Professional, a NJ licensed electrical or plumbing contractor or is permitted to prepare plans for single family homes. Additional information is available in our [Residential Permit Guide](#) on how to prepare electric and plumbing plans.

# Completing your construction permit application

## Permit jacket

The first form is the construction permit application which resembles a manila folder (if you have an original). Make sure boxes I, IIa, IIb are completed as fully as possible. Sections VI and VII should be completed to the best of your knowledge, but are not essential. If you are preparing your own plans and/or you are performing the work yourself, simply put 'self' as the principal contractor and/or architect/engineer. Next, inside the folder you will find the 'certification in lieu of oath'. Section I pertains to the owner when acting as the contractor and/or preparing the plans. Check all that apply and sign. Section II pertains to any agent that is representing the owner such as a contractor, architect, or project manager. Section II will be completed and signed by the agent as applicable. The last page is for our use. There is a link to the permit jacket on our webpage.

**CONSTRUCTION PERMIT APPLICATION**

**I. IDENTIFICATION**

1. Proposed Work Site at: \_\_\_\_\_

2. Name of Owner in Fee: \_\_\_\_\_

Tel: \_\_\_\_\_ e-mail: \_\_\_\_\_

Address: \_\_\_\_\_

3. Ownership in Fee: Public \_\_\_\_\_ Private \_\_\_\_\_

4. Principal Contractor: \_\_\_\_\_ Tel: \_\_\_\_\_

Address: \_\_\_\_\_ e-mail: \_\_\_\_\_

License No. OR, if new home, Builder Reg. No. \_\_\_\_\_ Exp. Date \_\_\_\_\_

Home Improvement Contractor Registration No. or Exemption Reason \_\_\_\_\_

Federal Emp. ID No. \_\_\_\_\_ FAX: \_\_\_\_\_

5. Architect or Engineer: \_\_\_\_\_ Contact \_\_\_\_\_

Address: \_\_\_\_\_ e-mail: \_\_\_\_\_

Tel: \_\_\_\_\_ FAX: \_\_\_\_\_

6. Responsible Person in Charge once Work has Begun \_\_\_\_\_

Tel: \_\_\_\_\_ FAX: \_\_\_\_\_

**II. PROPOSED WORK**

Minor Work  New Building  Addition  Demolition

Repair  Alteration  Renovation  Reconstruction

Asbestos Abat. -Subch. 8  Lead Hazard Abatement  Radon Remediation  Annual Permit

**IIb. SUBCODES** (check all that apply)

	Est. Cost	Permit Fee/By	Date Rec'd	Rejection Date	Approval Date	Re-viewer	Re-submission Date	Re-action	Re-viewer
<input type="checkbox"/> Building									
<input type="checkbox"/> Electrical									
<input type="checkbox"/> Plumbing									
<input type="checkbox"/> Fire Protection									
<input type="checkbox"/> Elevator									

TOTAL COST \$0

**III. PLAN REVIEW** (optional)

**DO YOU WANT:**

1.  Partial Releases

2.  Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1.  Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

2.  High Pressure Boilers

3.  Pressure Vessels

4.  Refrigeration Systems

5.  Cross-Connections/Backflow Preventers

6.  Hazardous Uses/Pieces of Assembly

7.  Sprinklers/Standpipes

8.  Smoke Control Systems in Open Wells

9.  Underground Storage Tanks

10.  Swimming Pools, Spas and Hot Tubs

11.  LPG Gas Tanks

12.  Fire Alarm

13.  Responder Comm System

**V. FEE SUMMARY** (for office use only)

		Update	Update
1. Building	\$		
2. Electrical	\$		
3. Plumbing	\$		
4. Fire Protection	\$		
5. Elevator Devices	\$		
6. Subtotal	\$		
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$		
10. Subtotal	\$		
11. Cert. of Occupancy	\$		
12. Other	\$		
13. TOTAL	\$		

**VI. BUILDING SITE CHARACTERISTICS** (office use only)

1. Number of Stories \_\_\_\_\_ ft.

2. Height of Structure \_\_\_\_\_ ft.

3. Area - Largest Floor \_\_\_\_\_ sq. ft.

4. New Building Area \_\_\_\_\_ sq. ft.

5. Volume of New Structure \_\_\_\_\_ cu. ft.

6. Max. Live Load \_\_\_\_\_

7. Max. Occupancy Load \_\_\_\_\_

8. If Industrial Building: State Approved \_\_\_\_\_ HUD \_\_\_\_\_

9. Total Land Area Disturbed \_\_\_\_\_ sq. ft.

10. Flood Hazard Zone \_\_\_\_\_

11. Base Flood Elevation \_\_\_\_\_ ft.

12. Wetlands: yes \_\_\_\_\_ no \_\_\_\_\_

**VII. DESCRIPTION OF BUILDING USE**

A. RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

4. No. of Dwelling Units: Total \_\_\_\_\_ Units \_\_\_\_\_

Gained, Rental \_\_\_\_\_

Lost, Scale \_\_\_\_\_

Lost, Rental \_\_\_\_\_

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: \_\_\_\_\_

2. Use Group, Proposed: \_\_\_\_\_ Select Group \_\_\_\_\_

3. Change in Use Group, Indicate Present: \_\_\_\_\_ Select Group \_\_\_\_\_

C. MIXED USE - List secondary use(s): \_\_\_\_\_

D. Construct. Classification: Present \_\_\_\_\_ Proposed \_\_\_\_\_

## Permit technical

There are multiple disciplines represented within a permit application. Each discipline has a separate technical that needs to be completed and included in your permit application. The most common disciplines are building, electric, plumbing, mechanical, and fire. The scope of your project will determine which technical(s) need to be included. For instance, typically a deck will only need a building technical, unless you are also installing lighting, in which case you will also need an electric technical. If you add an outdoor island with built in grill, you will then need an electric, mechanical, and fire. Add a sink, now you will need a plumbing technical. An outdoor kitchen would typically require a building, electric, plumbing, and fire technical. I think you get the idea! If you have any questions on which technical(s) need to be included, please contact us, and we'll guide you through the application. When completing a technical, fill in all applicant information. If you are not using a contractor, put 'self' as the contractor. Always include the cost of work and the description of work. The price should reflect a current market value or labor and materials. Even if you plan on performing the work yourself and are getting materials for little or no cost, your estimated cost of work is what a professional would charge as if they were doing the work and purchasing all the materials. There are links to each permit technical on our webpage.

**Plumbing, electrical, heating, ventilating, and air conditioning work shall not be undertaken except by persons licensed to perform such work pursuant to law, except in the case of a single-family homeowner on his or her own dwelling! Due to inherent risks involved with performing your own work, it is advisable to hire a licensed professional unless you are comfortable with your knowledge and experience.**



### **Other documents**

There are other documents that may need to be submitted with your application, such as specifications (cut sheets) on pre-manufactured railing systems, manufactured decking, gas fired appliances, etc. Complete your zoning application if applicable and include the zoning fee. If unsure of what you may need to submit with your permit application, please contact us and we will assist you. Remember – every application is different and has different requirements on what may need to be submitted!

### **Plan Review**

When you drop off your application we will perform a cursory review to insure the application is complete before accepting. If it is apparent that items are missing or incomplete, we may ask for you to complete and bring back. This will help to keep the application moving through our review process. The application will go to zoning first, which could take up to ten business days to complete. There may also be other agencies that will have to look at your application depending on the scope of work, such as the township engineer, County Board of Health, and flood plain administrator to name a few. This could add additional time to the review process. However, there are applications which need no prior reviews and we can immediately begin plan review. According to NJAC 5:23-2.16(a) the construction office has twenty business days to review your application. If we need clarification or find any deficiencies in code compliance you will be notified in writing of the comments. If the permit application is approved, you will receive notification of the approval and the fee amount.

Application rejected? First, don't get upset or be too hard on yourself! The majority of applications get rejected during the first review, even from experienced contractors and builders. Go through all the comments. Address each comment directly. Look up any code citations that are given. Make any plan revisions and correct any other deficiencies. Although not mandatory, resubmit the application with a short narrative addressing how you addressed each comment. This will help the application move quicker through the re-review. If you are unsure of what the plans' examiner is asking for, by all means, call our office and ask to speak with the plans' examiner about the comment. We are here to help get your application through the review process!



## Permit issuance

After plan review is complete and your permit has been fully approved, you will be notified by the construction office that the permit is ready for pick up and the fee amount. Permit fees are calculated in accordance with the most recently adopted fee schedule by town council. Click on the following link to view our fee schedule or visit our webpage [Florence Township Fee Schedule](#). After payment, you will receive a set of plans back that must be onsite for all inspections (if plans were submitted), permit documents, and a placard that should be placed in a window or on site in a conspicuous location. **If you have a contractor handling your permit application on your behalf, it is still the owner's responsibility to verify that the permit has been released prior to commencement of work.**

## Inspections

After your permit has been issued and construction begins, you now will need inspections performed. Click on the following link to view a list of inspections [List-of-Required-Inspections](#). Not all inspections on this list are applicable to your project. Again, if there are any questions you may have regarding the required inspections please reach out to us for clarification. The required inspections will also provide guidance on scheduling your inspections. Once the project is complete it is important to have all final inspections conducted and approved. This is the responsibility of the applicant or applicant's contractor/agent to schedule these final inspections. **If you are using a professional contractor final payment should not be made until you are provided with a certificate. This is your evidence that the permit has been found to be in compliance with all codes and regulations.** This is the final step and shows that you have closed the permit in accordance with the law. Permits will remain 'open' until a certificate is issued. It is also a local ordinance that all 'open' permits must be closed before the sale of a home.



**Now – enjoy the fruits of your labor and hard work!**